



# 1757 Manaia Road Coromandel

The Network Licensed REAA 2008



**Rob Keatley**

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**Enquiries Over \$1,800,000**



 5
  2
  2
  2



## Lifestyle to envy

This impressive, well-maintained property boasts a large home with ample space, ideal for extended family living arrangements, a growing family or visiting guests. With five bedrooms and a generous layout, there is simply space for everyone.

Step inside to the spacious open plan living and dining area. The social kitchen is perfect for relaxing or hosting guests. This living area leads out to a covered outdoor entertainment area, ideal for hosting barbecues and large gatherings. Also, there is a large separate lounge and a cosy family room with a fireplace. The master bedroom is filled with natural light and has a recently renovated bathroom and ranch sliders opening out to the gardens.

Outside, the beautiful gardens are a true standout feature, with many different and unusual plant varieties that will surely impress. The ample section is flat and there is so much room here for kids and animals to run and play. The double garage offers plenty of storage for all your vehicles and outdoor equipment. But that's not all - this property also comes with a large separate 3-Bay shed, 132m<sup>2</sup> with extra height doors, perfect for the boat, hobbyist, workshop or any other toys you can think to bring.

With nearly 1.2 hectares you can also bring some sheep to enjoy your ultimate country living.

### 1757 Manaia Road Coromandel

**Price:** Enquiries Over \$1,800,000  
**Land Area:** 11938m<sup>2</sup>  
**Floor Area:** 300m<sup>2</sup>  
**Rates:** \$2636  
**Rateable value:** \$1030000 on 2020-08-31

**View Online:**

**Open Homes:**

Contact for viewing times



**Rob Keatley**

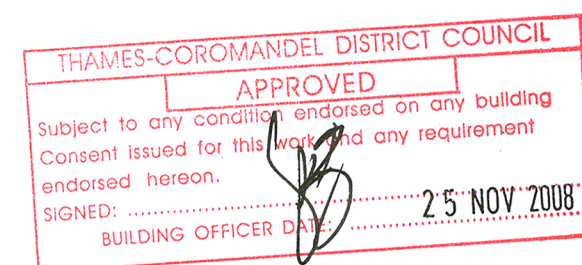
REAL ESTATE CONSULTANT

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BUILDER TO CONFIRM SUSPECTED SW PIPE RUNS UNDER PROPOSED ADDITION. PIPE WILL NEED TO BE RE-ROUTED AROUND ADDITION UNLESS TCDC INSPECTORS APPROVE OTHERWISE ON SITE.

REMOVE TILES WHERE REQUIRED IN THE KITCHEN SO THAT NEW TILES CAN BE LAID TO A UNIFORM GRID THROUGH INTO THE ADDITION.

SPARKY & PLUMBER TO REMOVE, ISOLATE & BLANK OFF ANY SERVICES, FITTINGS & CONNECTIONS IN THE KITCHEN & DINING.

REMOVE WINDOW & DOOR JOINERY & DEMOLISH BAY WINDOW & WALLS.

CUT & REMOVE SLAB DOTTED

REMOVE GARAGE DOOR & REMOVE WALL LININGS IN PREPARATION FOR CONVERSION OF GARAGE TO A BEDROOM. INSULATION WILL NEED TO BE FITTED TO WALLS & CEILING.

REMOVE EXISTING SOLID DOOR LEAVES & REPLACE WITH CLIENT SELECTED TIMBER FRAMED GLASS DOORS.

CAREFULLY REMOVE THESE DOORS FOR RE-USE IN GARAGE CONVERSION.

EXIST 180Ø COLUMN TO BE REMOVED. TEMP PROP ROOF STRUCTURE AS REQUIRED.

NOTES:  
WALLS & JOINERY TO BE DEMOLISHED SHOWN DOTTED.  
STUD HEIGHT TYP 2455 AFL.  
WINDOW & DOOR HEAD HEIGHTS TYP 2m.

ISSUE 2 1/11/08 FOR BUILDING CONSENT.  
ISSUE 1 14/10/08 FOR RESOURCE CONSENT

CRITICAL NOTES.  
CONTRACTORS TO CHECK & VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION. ALL CONSTRUCTION TO COMPLY WITH THE SPECIFICATION, NZS3604-1999, DBH BUILDING CODE & LOCAL AUTHORITY REQUIREMENTS.  
**IF IN DOUBT ASK!**  
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DWG #	SHEET #
<b>A02</b>	2 OF 15
JOB #	20080923
DRAWN BY JON	DATE 8/10/08
REFS SPECI	CHECKED <i>[Signature]</i>

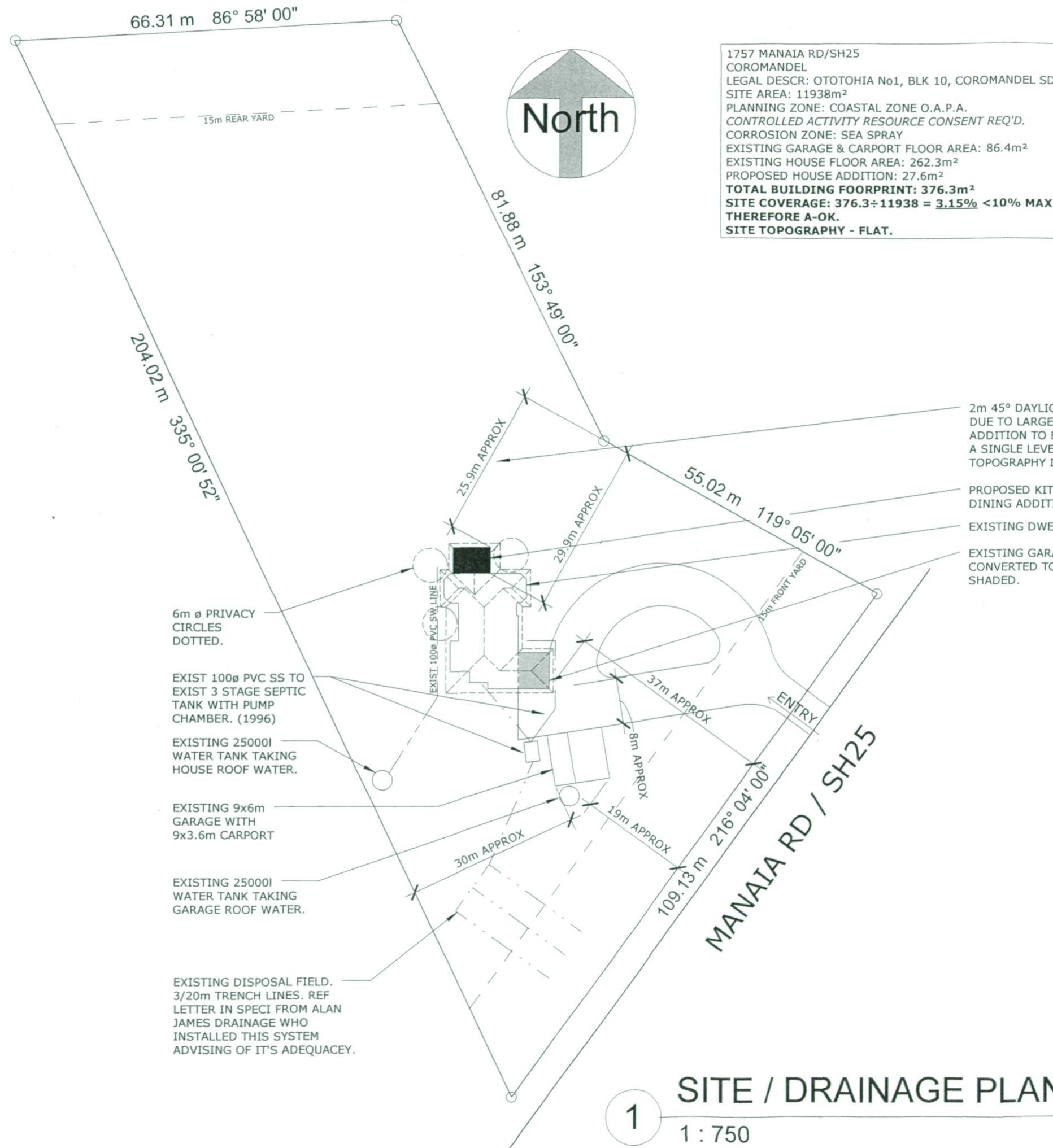
## EXISTING GROUND FLOOR/DEMOLITION PLAN

1

1 : 100

# STOBIE ADDITIONS & ALTERATIONS.





**ACTIONPLANS**  
CREATIVE PLANS YOU AND YOUR BUILDER WILL LOVE  
ACTIONPLANS LTD  
JON SHORT - PRINCIPAL / DESIGNER  
93 GALLAGHER DRIVE, TAIRUA, NZ.  
PH/FAX: 07-864-9988 MOB: 021-0274-7354  
E-MAIL: jon@actionplans.co.nz  
www.actionplans.co.nz  
DBH DESIGN 2 LBP

A D N Z  
ARCHITECTURAL DESIGNERS NZ INC

Thames-Coromandel District Council  
Planning Check Completed

Plan Approved on 03/12/08

Signed *Rai*

ISSUE 2 1/11/08 FOR BUILDING CONSENT.  
REV A 17/10/08 SITING CORRECTED.  
ISSUE 1 14/10/08 FOR RESOURCE CONSENT.

**CRITICAL NOTES.**  
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## SITE / DRAINAGE PLAN

1

1 : 750

# STOBIE ADDITIONS & ALTERATIONS.

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<b>A01</b>	1 OF 15
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Thames-Coromandel District Council  
Planning Check Completed  
Plan Approved on 03/12/08  
Signed *[Signature]*

NON-SKID TILES TO HALLWAY  
MATCH EXISTING LAUNDRY.

EXISTING CEILING ACCESS OVER  
FRIDGE/FREEZER, DOTTED. PROVIDE  
R3.0 BATTS INSULATION TO CEILING  
SPACE OVER OLD GARAGE.

NOTES: NEW WALLS SHOWN SHADED.  
FRAMING TO NEW WALLS TYP 90x45 H1.2 KD  
MSG8, STUDS @ 400 CTRS, NOGS @ 800 CTRS.  
70 SERIES BRICK VENEER CLADDING TO MATCH  
EXISTING, OVER 50mm FREE DRAINING  
CAVITY.  
**BOTTOM PLATES TO BE H3.2 CCA.**  
INTERIOR LININGS TYP 10mm STD GIB.  
CEILINGS TYP 13mm ULTRALINE.  
STUD HEIGHT TYP 2455 AFL, BUILDER COS.  
WINDOW & DOOR HEAD HEIGHTS TYP 2m.  
PROVIDE TRIMMING STUDS TO LINTELS TO FIG  
8.5 & 8.12 NZS3604, 1999.  
PROVIDE PAINTED 6mm HARDIFLEX LINING  
FIXED TO HARDIES SPECS OVER WINDOW  
HEADS TO MATCH EXISTING.

ISSUE 2 1/11/08 FOR BUILDING CONSENT.

**CRITICAL NOTES.**  
CONTRACTORS TO CHECK & VERIFY ALL  
ISSUE 1 DIMENSIONS ON SITE BEFORE  
CONSTRUCTION. ALL CONSTRUCTION TO  
COMPLY WITH THE SPECIFICATION,  
NZS3604-1999, DBH BUILDING CODE &  
LOCAL AUTHORITY REQUIREMENTS.  
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DWG #	SHEET #
<b>A03</b>	3 OF 15
	JOB #
	20080923
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E2 RISK MATRIX ANALYSIS	
(READ IN CONJUNCTION WITH TABLE 1, 2 & 3 OF E2/AS1 OF THE DBH BUILDING CODE)	
<b>NOTE: WORST CASE WALL SCENARIO ANALYSED. THIS DICTATES THE CONSTRUCTION SYSTEM USED ON THIS PROJECT FOR ALL WALLS.</b>	
TABLE 1.	
A. WIND ZONE: VERY HIGH RISK 2	
B. NUMBER OF STOREYS: LOW RISK 0	
C. ROOF/WALL INTERSECTION DESIGN: LOW RISK 0	
D. EAVES WIDTH: LOW RISK 0	
E. ENVELOPE COMPLEXITY: LOW RISK 0	
F. DECK DESIGN: LOW RISK 0	
TABLE 2.	
TOTAL RISK SCORE FROM ABOVE: 2	
TABLE 3.	
2 RISK SCORE THEREFORE MASONRY BRICK VENEER CLADDING SYSTEM OVER 40mm FREE DRAINING CAVITY IS A-OK. DIRECT FIXED PLY ALSO OK.	

FIX & FLASH NEW DBLE GLASD JOINERY TO  
COMPLY WITH E2/AS1 & DETAILS ON THESE  
DRAWINGS.

SCABBLE STEP IN SLAB (SHADED) FROM  
OLD GARAGE DOOR & FILL WITH  
APPROVED CEMENTITIOUS SLAB  
LEVELLING COMPOUND TO MANUF SPECS.

FIT **R2.8** BATTS TO WALL FRAMING CAVITY &  
RE-LINE WITH 10mm STD GIB, GLUED &  
SCREWED TO GS2 BRACING SPECS. FIT **R5.0**  
BATTS INSULATION TO CEILING SPACE. PROVIDE  
SCOTIA & SKIRTING TO MATCH EXISTING. FIT  
NEW 40x10 ARCHITRAVES TO WINDOWS IF  
REQUIRED. CLIENT SELECTED PAINT FINISHES.  
FIT MS SEALANT ON PEF ROD AIRSEALS TO  
EXISTING WINDOWS.

NEW FRAMED WALL CLAD WITH PAINTED  
12mm TEXTURE 2000 H3.2 PP PLY ON  
CAVITY TO SUIT ALL TO CHH SPECS  
OVER BREATHER TYPE BLDG PAPER

A04

**NOTE: EXISTING BUILDING CONSENT  
DRAWINGS DATED JULY 1996 INDICATE  
POLYTHENE UNDER THIS HOUSE SLAB.**  
  
**BUILDER TO DROP GROUND LEVELS AROUND  
GARAGE RANCH SLIDERS TO COMPLY AS  
FOLLOWS FOR A HABITABLE SPACE;  
225 FROM FL TO GL MIN.  
150 FROM FL TO PAVING MIN.**

INSULATION TO ADDITION ONLY TO BE AS  
FOLLOWS:  
CEILING: R3.0 BATTS  
WALLS: R2.4 BATTS  
FLOOR: 50mm EPS UNDER ENTIRE SLAB  
JOINERY: DOUBLE GLASD.

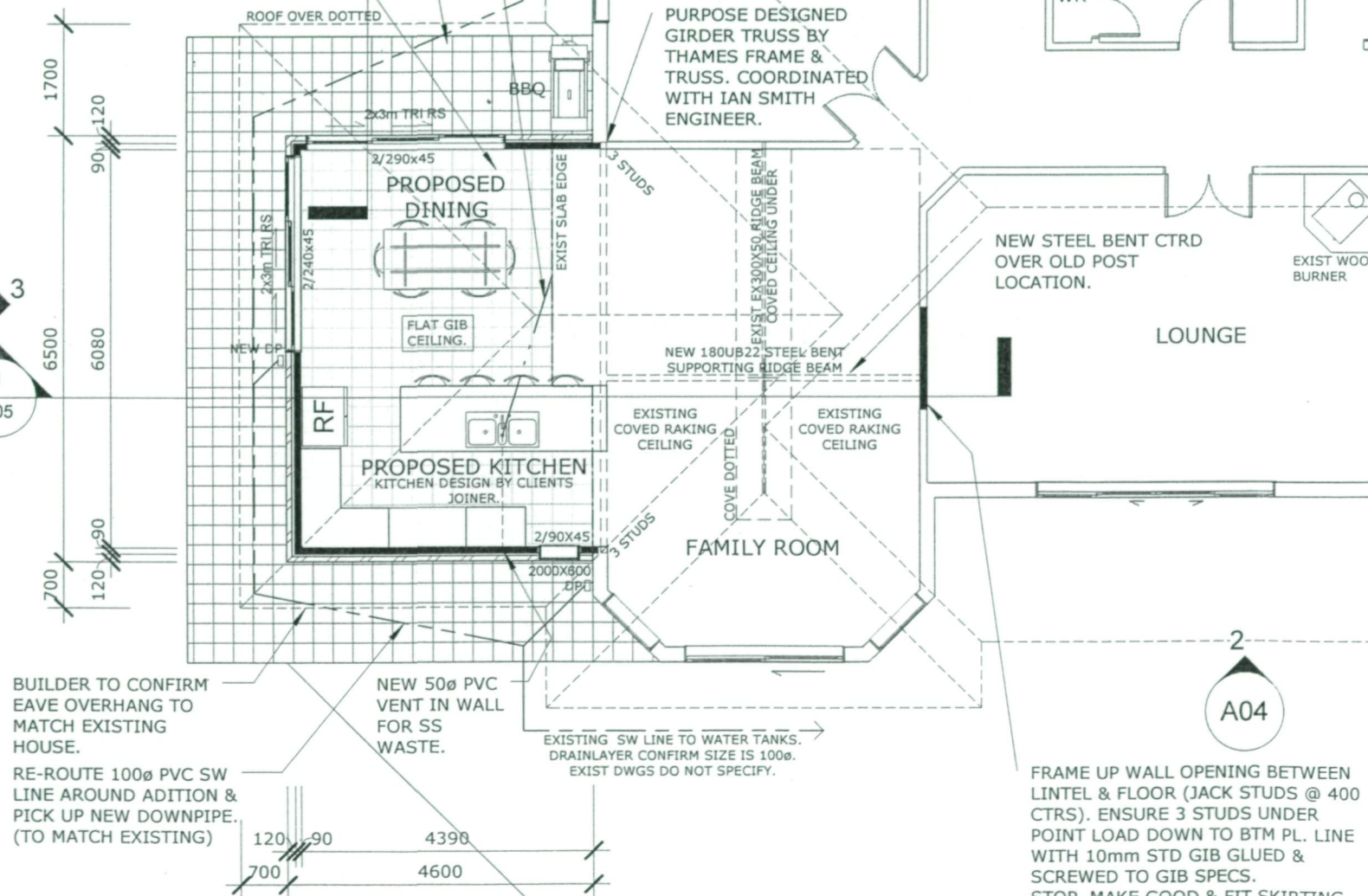
CONNECT NEW KITCHEN WASTE TO EXISTING  
KITCHEN WASTE WITH 40ID PVC WASTE LAID @  
2.5% MIN FALL (63mm FALL). VENT WASTE IN  
KITCHEN IF TOTAL BRANCH DRAIN EXCEEDS 10m  
- PLUMBER TO COS. ALL WORK TO NZS/AS3500.

CLIENT SELECTED PAVING OR 17.5MPa  
CONCRETE MIN 175mm BFL. PROVIDE  
FALLS AWAY FROM HOUSE.

NEW NON SKID TILING TO  
PROPOSED DINING & KITCHEN.

PURPOSE DESIGNED  
GIRDER TRUSS BY  
THAMES FRAME &  
TRUSS. COORDINATED  
WITH IAN SMITH  
ENGINEER.

NEW STEEL BENT CTRD  
OVER OLD POST  
LOCATION.



BUILDER TO CONFIRM  
EAVE OVERHANG TO  
MATCH EXISTING  
HOUSE.

RE-ROUTE 100ø PVC SW  
LINE AROUND ADDITION &  
PICK UP NEW DOWNPIPE.  
(TO MATCH EXISTING)

NEW 50ø PVC  
VENT IN WALL  
FOR SS  
WASTE.

EXISTING SW LINE TO WATER TANKS.  
DRAINLAYER CONFIRM SIZE IS 100ø.  
EXIST DWGS DO NOT SPECIFY.

FRAME UP WALL OPENING BETWEEN  
LINTEL & FLOOR (JACK STUDS @ 400  
CTRS). ENSURE 3 STUDS UNDER  
POINT LOAD DOWN TO BTM PL. LINE  
WITH 10mm STD GIB GLUED &  
SCREWED TO GIB SPECS.  
STOP, MAKE GOOD & FIT SKIRTING  
TO MATCH EXISTING. PAINT FINISH.

## PROPOSED GROUND FLOOR PLAN

1 : 100

# STOBIE ADDITIONS & ALTERATIONS.



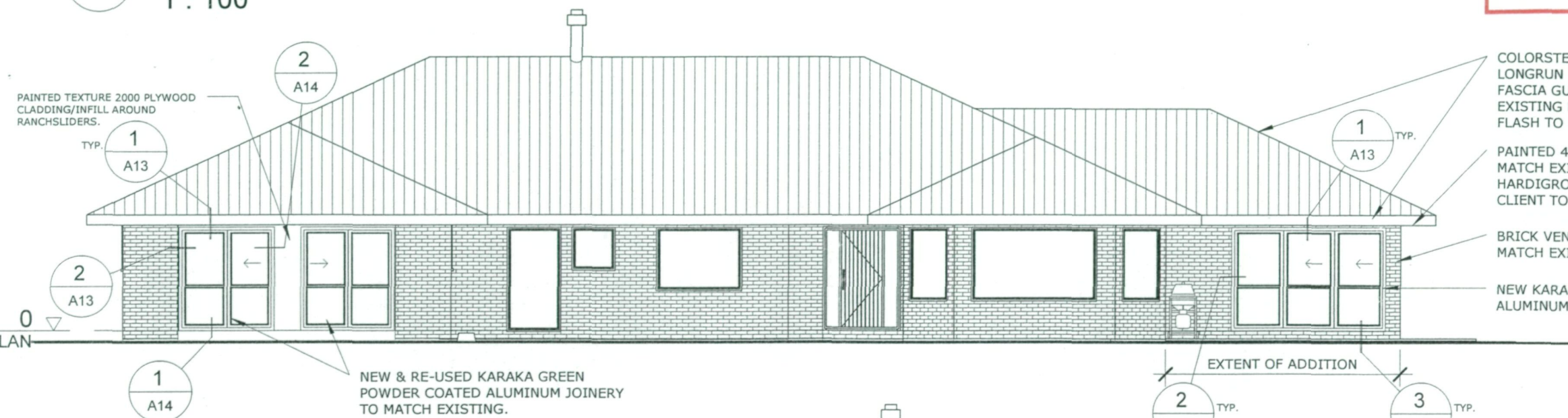
Thames-Coromandel District Council  
Planning Check Completed

Plan Approved on 03/12/08

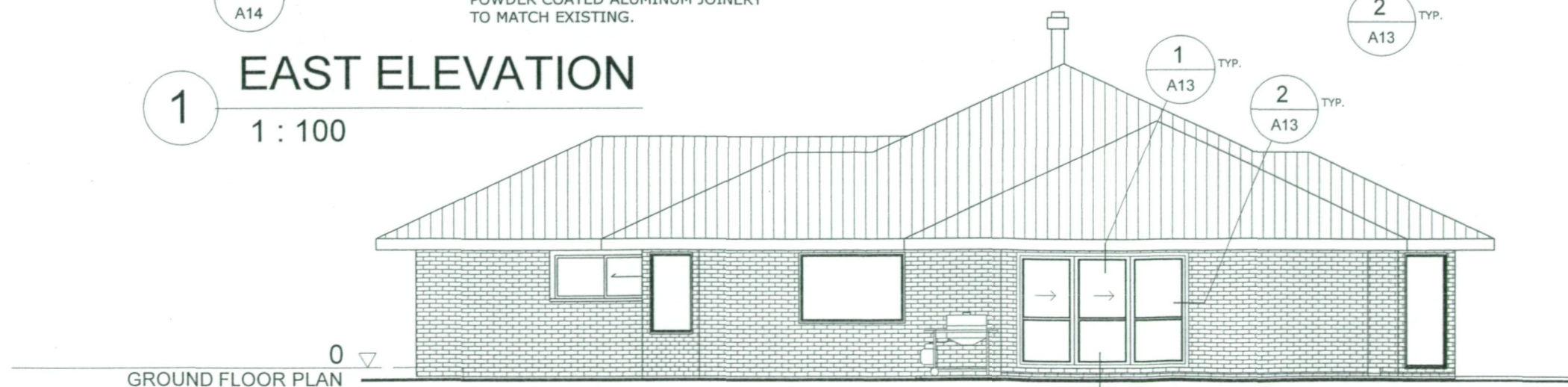
Signed *Jon*



2 WEST ELEVATION  
1 : 100



1 EAST ELEVATION  
1 : 100



3 NORTH ELEVATION  
1 : 100

ISSUE 2 1/11/08 FOR BUILDING CONSENT.  
REV A 17/10/08 TITLES CORRECTED.  
ISSUE 1 14/10/08 FOR RESOURCE CONSENT

**CRITICAL NOTES.**  
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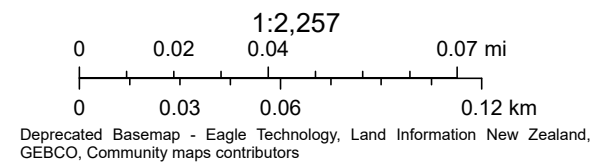
DWG #	SHEET #
<b>A04</b>	4 OF 15
	JOB #
	20080923
DRAWN BY JON	DATE 14/10/08
REFS SPECI	CHECKED <i>Jon</i>



# TCDC Web Map



13/04/2024, 12:50:12







# Rating Information Database

## Property Details

Item	Details
Assessment Number	121167
Valuation Number	04811-45001
Legal Description	1 ML OTUTOHIA
Situation Address	1757 Sh25 - Manaia Kereta/Te Kouma
Region	KERETA/TE KOUMA
Land Area	11938m <sup>2</sup> (1.1938 Ha)
Title	CT-SA896/156
Land Value	\$550,000.00
Improved Value	\$850,000.00
Capital Value	\$1,400,000.00

## Current Rates 2023/2024

Rate Type	Factor	Rate	Amount
District Transportation & Building Control	1030000	0.00018500	\$190.55
General Rate Rural Other	425000	0.00102300	\$434.78
Solid Waste Collection - Coromandel/Colville	1	359.49000000	\$359.49
Uniform Annual General Charge	1	600.31000000	\$600.31
Works & Services Farm/Hort/Rural/Res/Islands	1	269.85000000	\$269.85
Works & Services Rural Other	425000	0.00048200	\$204.85
Total:			\$2059.83





Rates Proposed 2024/2025 (see disclaimer below)

Rate Type	Factor	Rate	Amount
District Transportation & Building Control	1400000	0.00015000	\$210.00
General Rate Rural Other	550000	0.00087800	\$482.90
Solid Waste Collection - Coromandel/Colville	1	372.20000000	\$372.20
Uniform Annual General Charge	1	725.13000000	\$725.13
Works & Services Farm/Hort/Rural/Res/Islands	1	352.65000000	\$352.65
Works & Services Rural Other	550000	0.00048400	\$266.20
Total:			\$2409.08



## Disclaimer

*These figures are based on the Rating Information Database as at March 2024 with a proposed 12.9% average rate increases that was included in the Long Term Plan c within these calculations are based on the proposed Thames Coromandel District 2023 general revaluation values. The rates and valuations for 2024/2025 will be finalise on 27 June 2024.*



Valuation number	0481145001
Assessment number	2227386
Property location	1757 Sh25 - Manaia Hwy Thames-Coromandel District
Land value (LV)	\$425,000.00
Capital value (CV)	\$1,030,000.00
Previous land value (LV)	\$0.00
Previous capital value (CV)	\$0.00
Area (Ha)	1.1938
Property category	LI199B
Improvements (KEY)	DWG FG OBS OI
Legal property description	1 ML OTUTOHIA

Rates charges

If no information is displayed here and you require further detail, call Waikato Regional Council's freephone 0800 800 401 or email [rates@waikatoregion.govt.nz](mailto:rates@waikatoregion.govt.nz).

Rate description	Rate type	Rate factor	Factor	Value of factor	Rate amount (incl. GST)
Urban Public Transport Services	indirect benefit (Thames-Coromandel)	0.00000049	CV	1030000	\$0.50
Total					\$0.50
Uniform Annual General Charge	UAGC	99.00513034	UR	1	\$99.01
Total					\$99.01
Regional Theatre	Secondary	0.59454107	UR	1	\$0.59
Total					\$0.59
Regional Services	Regional Services	3.70476808	UR	1	\$3.70
Total					\$3.70
Regional Council General	Thames-Coromandel	0.00027149	CV	1030000	\$279.63
Total					\$279.63
Natural Heritage	Natural Heritage	8.6791374	UR	1	\$8.68
Total					\$8.68
Coromandel Peninsula Coromandel Zone	Catchment (value based)	0.00004683	CV	1030000	\$48.23
Coromandel Peninsula Coromandel Zone	Catchment (per property)	43.51227764	UR	1	\$43.51



Total						\$91.74
Civil Defence & Emergency Mgmt	Civil Defence and Emergency Mgmt	16.06748589	UR	1		\$16.07
Total						\$16.07
Biosecurity	Pest Control and Regional Biosecurity	0.00007427	CV	1030000		\$76.50
Total						\$76.50
Total Rates						\$576.42